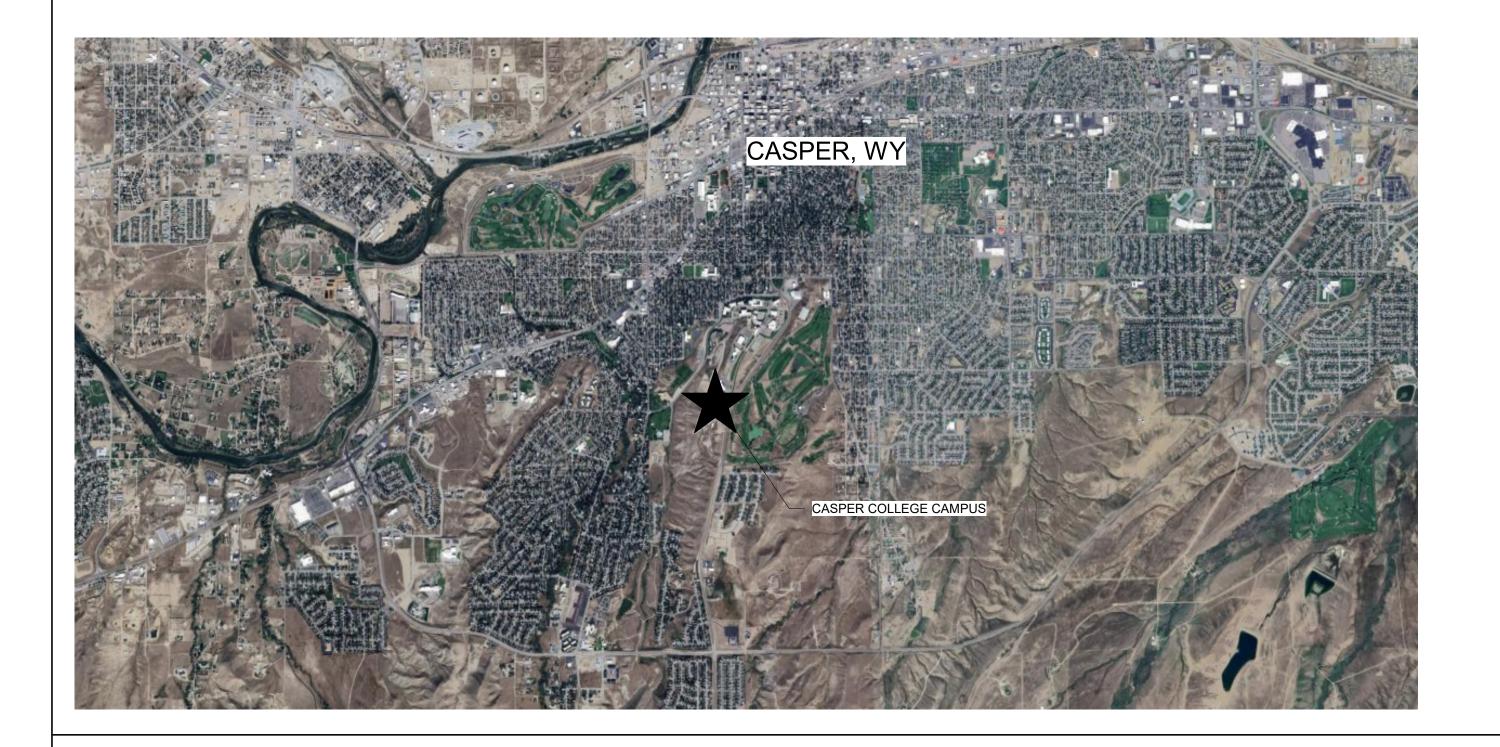
CASPER COLLEGE CAREER STUDIES ROOF REPLACEMENT

125 COLLEGE DR. CASPER, WY 82601

CONSTRUCTION DOCUMENTS

MARCH 28, 2025





PROJECT TEAM



125 COLLEGE DR. CASPER, WY 82601 307-268-2492

PROJECT CONTACT: MITCH MASTERS (FACILITIES OPERATIONS) MITCHELL.MASTERS@CASPERCOLLEGE.EDU

ARCHITECT

ARETE DESIGN GROUP, LLC 228 EAST BRUNDAGE ST, SUITE 100 SHERIDAN, WY 82801 307.672.8270

PROJECT CONTACT: TIM JAGER TIMJ@ARETEDESIGN.GROUP

ARCHITECTURAL GENERAL NOTES

NOTES

- ACCEPTED EDITIONS FOR LOCAL AUTHORITIES, & ALL OTHER STATE & LOCAL CODES & BUILDING
- 2. CONTRACTOR & SUB-CONTRACTORS SHALL PROVIDE ALL LABOR, MATERIAL, & EQUIPMENT TO COMPLETE ALL WORK SHOWN ON THE PLANS, CALLED OUT IN THE SPECIFICATIONS & REASONABLY IMPLIED FOR A COMPLETE INSTALLATION.
- 4. IT IS NOT THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER(S) IF DRAWINGS ARE REPRODUCED BY THE CONTRACTOR & NOT PRINTED PROPERLY CAUSING INACCURACY IN THE DRAWING SCALES. CONTACT THE ARCHITECT IF DRAWINGS NEED TO BE PRINTED AT THE INTENDED SCALE.
- 5. THE CONTRACTOR SHALL MAINTAIN & ADHERE TO ALL CURRENT LIFE-SAFETY & INTERIM LIFE-SAFETY
- 7. THE CONTRACTOR SHALL ENSURE SAFETY DURING & AFTER WORK HOURS & COMPLY WITH ALL
- 8. DEBRIS SHALL BE PROMPTLY REMOVED FROM THE BUILDING & THE SITE & DISPOSED OF IN A LEGAL MANNER. THE AREA OF CONSTRUCTION SHALL BE MAINTAINED TO A "BROOM CLEAN CONDITION" AT THE
- 9. THE CONTRACTOR SHALL MINIMIZE & CLEARLY MARK ALL PHYSICAL HAZARDS. EMERGENCY EGRESS PATHS MUST BE MAINTAINED AT ALL TIMES.
- 10. INSTALL ALL WORK WITH CARE & CRAFTSMANSHIP ENSURE THAT ALL COMPONENTS ARE INSTALLED PLUMB, LEVEL, SQUARED, & FIRMLY IN PLACE. PROVIDE WORKMANSHIP ACCORDING TO STANDARD CONSTRUCTION PRINCIPLES, AS OUTLINED IN THE SPECIFICATION, & TO THE SATISFACTION OF THE
- 11. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT NO ASBESTOS OR HAZARDOUS MATERIALS ARE INSTALLED AS A PART OF THIS PROJECT.
- 12. INSTALL ALL MATERIAL & EQUIPMENT ACCORDING TO THE MANUFACTURER'S RECOMMENDED STANDARD

RENOVATION GENERAL NOTES

- 1. THE DRAWINGS REFLECT CONDITIONS AS CAN REASONABLY INFERRED FROM VISIBLE CONDITIONS OR FROM DRAWINGS AND INFORMATION PROVIDED BY OWNER, BUT ARE NOT GUARANTEED.
- DISCOVERIES NOT DOCUMENTED HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITEC PRIOR TO DEMOLITION AT THESE LOCATIONS FOR VERIFICATION.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES, DIMENSIONS, AND FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS BEFORE COMMENCEMENT OF WORK AND REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. WORK DONE WITHOUT NOTIFYING THE ARCHITECT OF THESE DISCREPANCIES SHALL BE DONE AT THE SOLE RISK OF THE CONTRACTOR.
- 4. THE STORAGE OF MATERIALS, EQUIPMENT, AND OTHER CONSTRUCTION RELATED ACTIVITIES SHALL BE COORDINATED WITH THE OWNER AND SHALL NOT ADVERSELY AFFECT THE BUILDING OPERATIONS.

DRAWING INDEX

GENERAL INFORMATION

COVER SHEET

ARCHITECTURAL

ARCHITECTURAL SITE PLAN OVERALL ROOF PLAN

DEMOLITION PLAN - ROOF AREA A

DEMOLITION PLAN - ROOF AREA B DEMOLITION PLAN - ROOF AREA C

RENOVATION PLAN - ROOF AREA A

RENOVATION PLAN - ROOF AREA B

RENOVATION PLAN - ROOF AREA C **ROOF DETAILS**

ALTERNATES

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PROJECT INFORMATION

PROJECT SCOPE: REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY IN ITS ENTIRETY DOWN TO SLOPED

CONCRETE DECK. INSTALL NEW ROOF ASSEMBLY ADHERED TO SLOPED CONCRETE DECK.

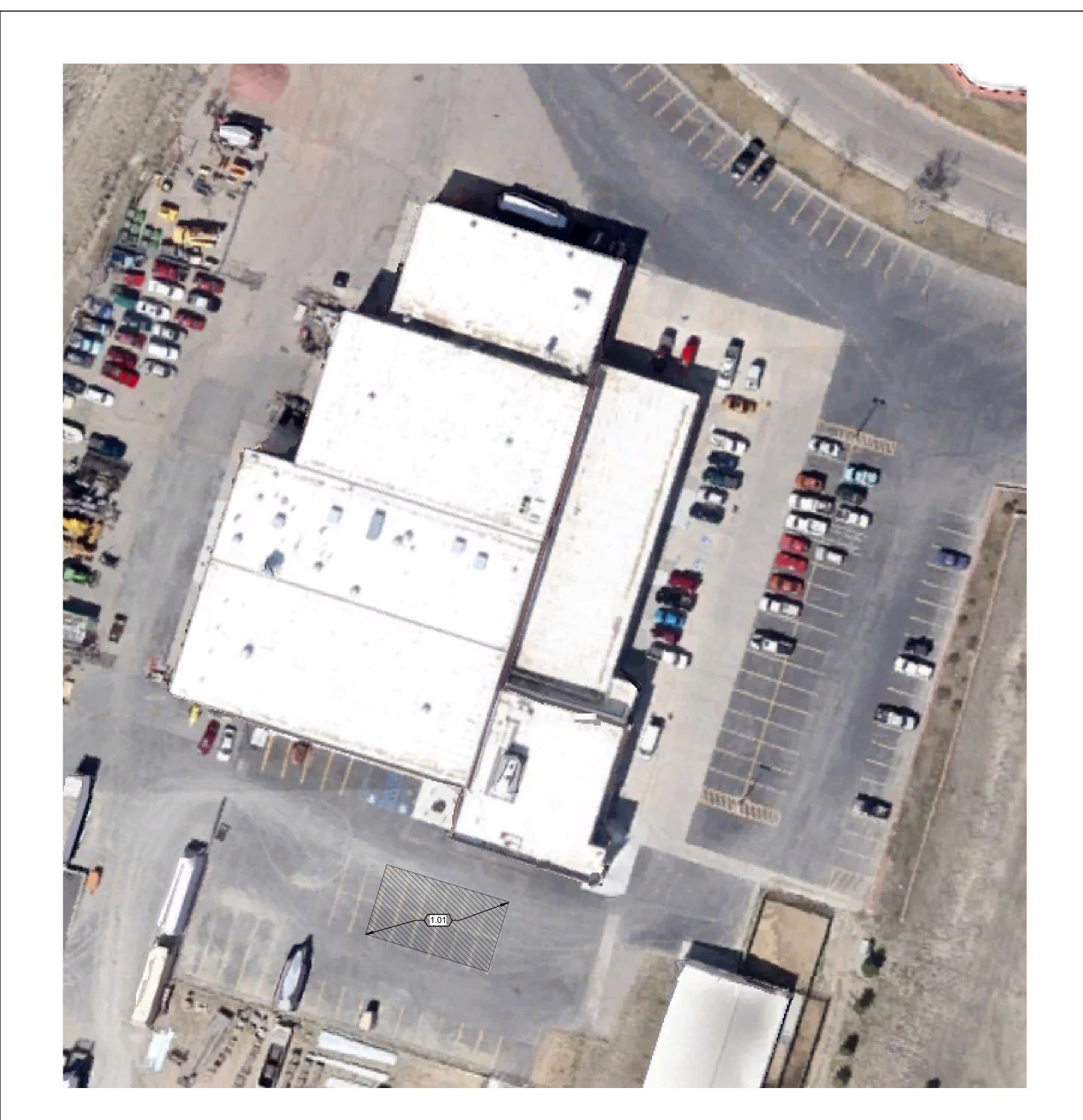
CONSTRUCTION TYPE: TYPE II-B

OCCUPANCY:

ROOF SF: 27,215 SF

THESE DRAWINGS WERE PREPARED BY ARETE DESIGN GROUP FOR CONSTRUCTION OF THE BUILDING DESCRIBED WITHIN THESE CONSTRUCTION DOCUMENTS. THEY ARE THE PROPERTY OF ARETE DESIGN GROUP AND MAY NOT BE REPRODUCED, COPIED, OR USED IN ANYWAY WITHOUT PRIOR WRITTEN APPROVAL FROM ARETE DESIGN GROUP.

ARETE DESIGN GROUP 228 EAST BRUNDAGE STREET, SUITE 100 INFO@ARETEDESIGN.GROUP SHERIDAN, WYOMING 82801 PHONE 307.672.8270



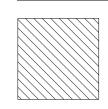
GENERAL SITE PLAN NOTES

1. CONSERVE & PROTECT ALL AREAS NOT SCHEDULED FOR NEW WORK.
WHERE DAMAGE OCCURS TO AREAS NOT SCHEDULED FOR NEW WORK
DAMAGED AREAS / ITEMS / DEVICES SHALL BE REPAIRED / REPLACED BACK
TO SIMILAR CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.

COLLEGE CAREER STUDIES ROOF REPLACEMENT

CASPER

SITE PLAN LEGEND



CONTRACTOR STAGING AND PARKING AREA. PROVIDE AND INSTALL CONSTRUCTION FLAGGING AND/OR FENCING AT AREA PERIMETER.



KEYNOTES

1.01 CONTRACTOR STAGING AND PARKING AREA. POVIDE AND INSTALL CONSTRUCTION FLAGGING AND/OR FENCING AT AREA PERIMETER.

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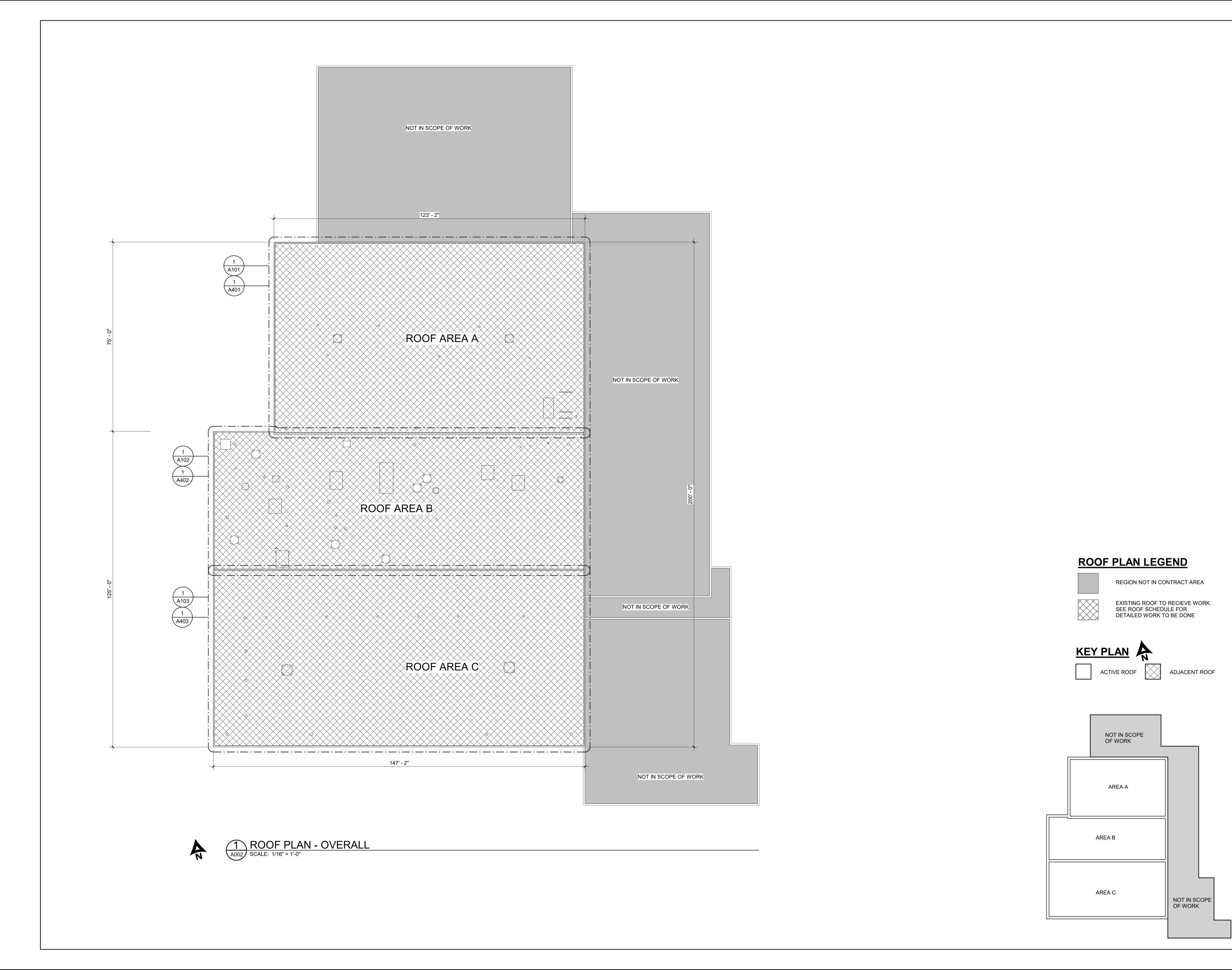
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CONSTRUCTION DOCUMENTS

ARCHITECTURAL SITE PLAN



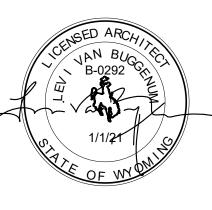
CASPER COLLEGE CAREER STUDIES ROOF REPLACEMENT



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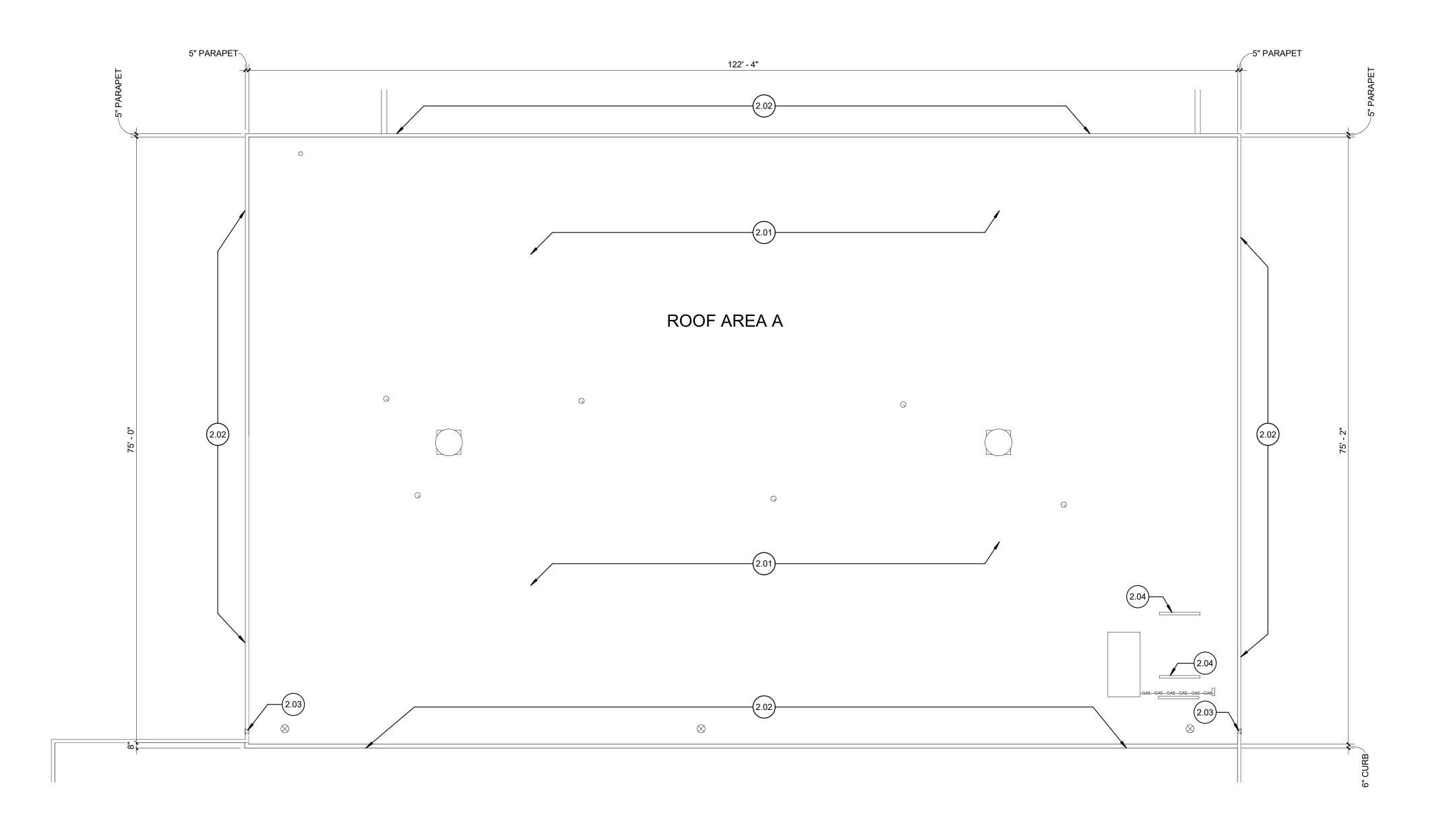
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ISSUE: CONSTRUCTION DOCUMENTS

OVERALL ROOF PLAN



ROOF SCHEDULE ROOF AREA APPROX. AREA EXISTING ROOF CONSTRUCTION SCOPE OF WORK FULLY ADHERED MEMBRANE OVER 1/2" WOOD FIBER BD. OVER 1" POLYISO OVER B.U.R. OVER 1/2" REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER ROOF AREA A 9197 SF PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK. FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED ROOF AREA B 7846 SF FULLY ADHERED MEMBRANE OVER 1/2" WOOD FIBER BD. OVER 1" POLYISO OVER B.U.R. OVER 1/2" REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK. FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED FULLY ADHERED MEMBRANE OVER 1/2" WOOD FIBER BD. OVER 1" POLYISO OVER B.U.R. OVER 1/2" REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER ROOF AREA C 10172 SF PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK. FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.

1 DEMOLITION PLAN - ROOF AREA A

GENERAL ROOF DEMOLITION NOTES

- 1. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING SELECTIVE DEMOLITION ITEMS.
- 2. DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY EXISTING CONDITIONS.
- 3. THIS SHEET REPRESENTS CONDITIONS AS OBSERVED IN THE FIELD. ANY DISCOVERIES NOT DOCUMENTED HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO DEMOLITION AT THESE
- LOCATIONS FOR VERIFICATION.

 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIARIZED WITH PROJECT & EXISTING CONDITIONS PRIOR TO SUBMITTING BID &/OR
- PERFORMING ANY WORK.

 5. CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY
- OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.

 6. THE CONTRACTOR IS TO PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW & RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTES, INCLUDING, BUT NOT LIMITED TO, ALL WORK THAT

MIGHT REASONABLY BE REQUIRED TO PREP FOR SPECIFIED FINISHES.

- 7. PROTECT ALL ITEMS / ELEMENTS NOT SPECIFIED AS BEING DEMOLISHED. IF EXISTING ELEMENTS ARE DAMAGED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PATCH, REPAIR, OR REPLACE ITEMS / ELEMENTS TO REMAIN AT NO COST TO THE OWNER.
- 8. OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIALS & FINISHES. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION.
- 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL DEMOLISHED ITEMS, UNLESS NOTED TO BE SALVAGED, IN A PROPER MANNER ACCORDING TO THE LOCAL & FEDERAL REGULATIONS.

ROOF PLAN LEGEND

CURB MOUNTED EXHAUST FAN OR VENTILATOR. SEE DETAIL 1/A410.

VENT THROUGH ROOF. SEE DETAIL 2/A410 - 3/A410.

VENT THROUGH ROOF. SEE DETAIL 2/A410 - 3/A4

HOT FLUE. SEE DETAIL 4/A410.

PRIMARY ROOF DRAIN.

OVERFLOW ROOF DRAIN.

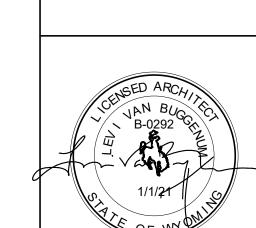
THROUGH WALL SCUPPER. SEE DETAIL 5/A410.

-GAS-GAS-GAS-GAS- EXISTING GAS LINE TO REMAIN.

(XXX) KEYNOTE

- 2.01 REMOVE AND DISPOSE OF MEMBRANE ROOF ASSEMBLY TO SLOPED CONCRETE DECK; SEE ROOFING SCHEDULE.

 2.02 REMOVE AND DISPOSE OF EXISTING PRE-ENISHED METAL COP
- 2.02 REMOVE AND DISPOSE OF EXISTING PRE-FINISHED METAL COPING. INSPECT WOOD NAILERS AND NOTIFY ARCHITECT/OWNER OF DEFICIENT NAILERS.
- REMOVE AND REPLACE EXISTING THROUGH WALL SCUPPER BOX.
 REMOVE AND DISPOSE OF ABANDONDED ROOFTOP CURBS/EXHAUST FLUE.



CASPER

CAREER

COLLEGE

STUDIES ROOF

REPLACEMENT

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TIM JAGER

<u>ARCHITECT</u>

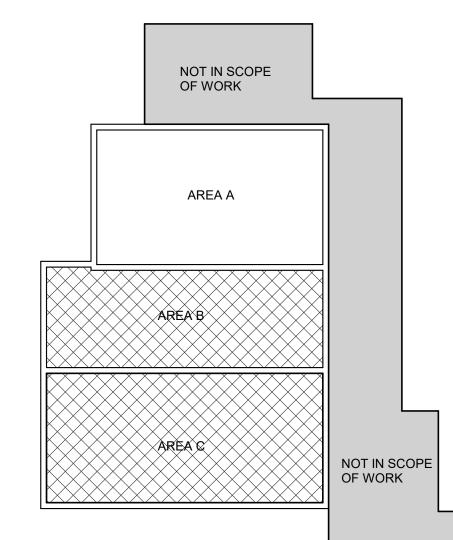
chell.masters@caspercollege.edu

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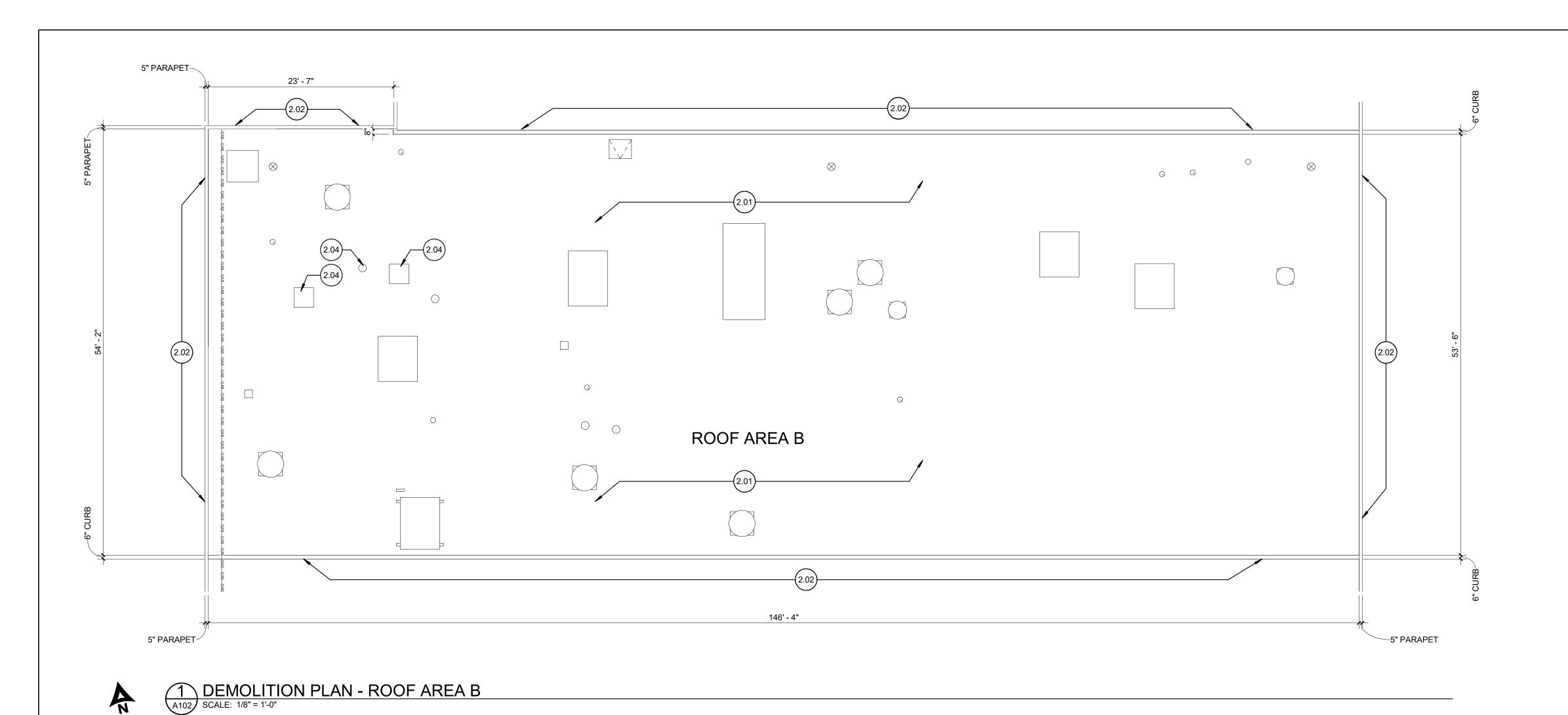
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ISSUE: CONSTRUCTION DOCUMENTS

DEMOLITION PLAN -ROOF AREA A

A101

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GENERAL ROOF DEMOLITION NOTES

- 1. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING SELECTIVE DEMOLITION ITEMS.
- 2. DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY EXISTING CONDITIONS.
- 3. THIS SHEET REPRESENTS CONDITIONS AS OBSERVED IN THE FIELD. ANY DISCOVERIES NOT DOCUMENTED HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO DEMOLITION AT THESE
- LOCATIONS FOR VERIFICATION. 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIARIZED WITH PROJECT & EXISTING CONDITIONS PRIOR TO SUBMITTING BID &/OR
- 5. CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.
- 6. THE CONTRACTOR IS TO PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW & RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTES, INCLUDING, BUT NOT LIMITED TO, ALL WORK THAT MIGHT REASONABLY BE REQUIRED TO PREP FOR SPECIFIED FINISHES.
- 7. PROTECT ALL ITEMS / ELEMENTS NOT SPECIFIED AS BEING DEMOLISHED. IF EXISTING ELEMENTS ARE DAMAGED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PATCH, REPAIR, OR REPLACE ITEMS / ELEMENTS TO REMAIN AT NO COST TO THE OWNER.
- 8. OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIALS & FINISHES. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION.
- 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL DEMOLISHED ITEMS, UNLESS NOTED TO BE SALVAGED, IN A PROPER MANNER ACCORDING TO THE LOCAL & FEDERAL REGULATIONS.

ROOF PLAN LEGEND

PERFORMING ANY WORK.

CURB MOUNTED EXHAUST FAN OR VENTILATOR. SEE DETAIL

VENT THROUGH ROOF. SEE DETAIL 2/A410 - 3/A410.

HOT FLUE. SEE DETAIL 4/A410.

PRIMARY ROOF DRAIN.

OVERFLOW ROOF DRAIN.

THROUGH WALL SCUPPER. SEE DETAIL 5/A410.

EXISTING GAS LINE TO REMAIN.

(XXX) KEYNOTES

- REMOVE AND DISPOSE OF MEMBRANE ROOF ASSEMBLY TO SLOPED CONCRETE DECK; SEE ROOFING SCHEDULE.
- REMOVE AND DISPOSE OF EXISTING PRE-FINISHED METAL COPING. INSPECT WOOD NAILERS AND NOTIFY ARCHITECT/OWNER OF DEFICIENT NAILERS.
- REMOVE AND DISPOSE OF ABANDONDED ROOFTOP CURBS/EXHAUST FLUE.

CASPER COLLEGE CAREER STUDIES ROOF REPLACEMENT

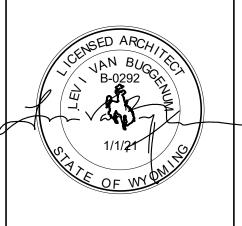


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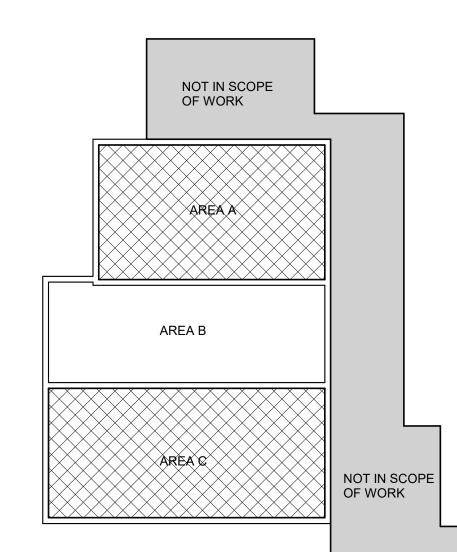
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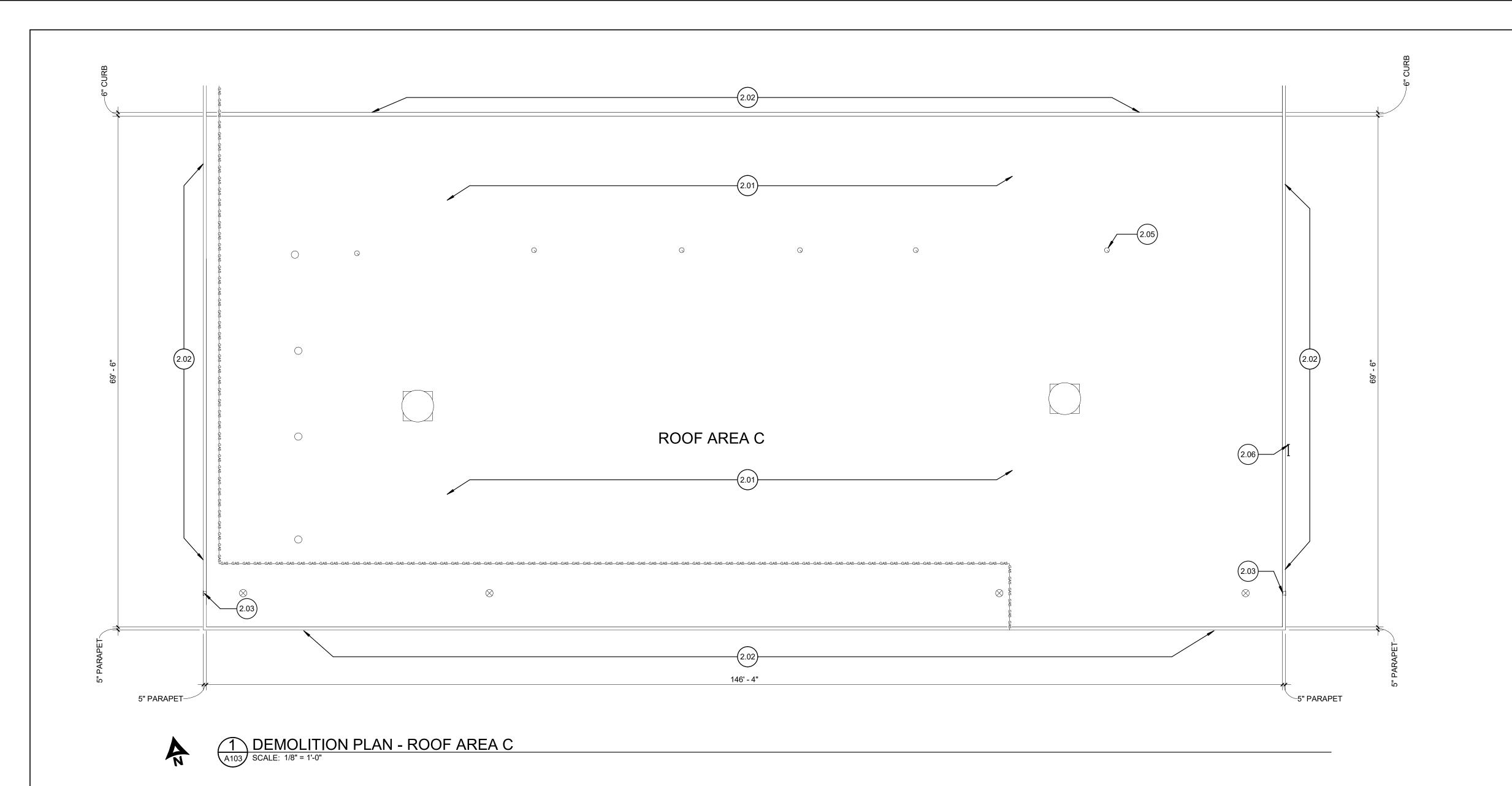
CONSTRUCTION DOCUMENTS

DEMOLITION PLAN -ROOF AREA B





	ROOF SCHEDULE			
ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK	
ROOF AREA A	9197 SF	FULLY ADHERED MEMBRANE OVER 1/2" WOOD FIBER BD. OVER 1" POLYISO OVER B.U.R. OVER 1/2" PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK.	REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.	
ROOF AREA B	7846 SF	FULLY ADHERED MEMBRANE OVER 1/2" WOOD FIBER BD. OVER 1" POLYISO OVER B.U.R. OVER 1/2" PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK.	REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.	
ROOF AREA C	10172 SF	FULLY ADHERED MEMBRANE OVER 1/2" WOOD FIBER BD. OVER 1" POLYISO OVER B.U.R. OVER 1/2" PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK.	REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.	



GENERAL ROOF DEMOLITION NOTES

- 1. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING SELECTIVE DEMOLITION ITEMS.
- 2. DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY EXISTING CONDITIONS.
- 3. THIS SHEET REPRESENTS CONDITIONS AS OBSERVED IN THE FIELD. ANY DISCOVERIES NOT DOCUMENTED HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO DEMOLITION AT THESE
- LOCATIONS FOR VERIFICATION. 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIARIZED WITH PROJECT & EXISTING CONDITIONS PRIOR TO SUBMITTING BID &/OR
- PERFORMING ANY WORK. 5. CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY

OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.

- 6. THE CONTRACTOR IS TO PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW & RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTES, INCLUDING, BUT NOT LIMITED TO, ALL WORK THAT MIGHT REASONABLY BE REQUIRED TO PREP FOR SPECIFIED FINISHES.
- 7. PROTECT ALL ITEMS / ELEMENTS NOT SPECIFIED AS BEING DEMOLISHED. IF EXISTING ELEMENTS ARE DAMAGED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PATCH, REPAIR, OR REPLACE ITEMS / ELEMENTS TO REMAIN AT NO COST TO THE OWNER.
- 8. OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIALS & FINISHES. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION.
- 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL DEMOLISHED ITEMS, UNLESS NOTED TO BE SALVAGED, IN A PROPER MANNER ACCORDING TO THE LOCAL & FEDERAL REGULATIONS.

ROOF PLAN LEGEND

CURB MOUNTED EXHAUST FAN OR VENTILATOR. SEE DETAIL

VENT THROUGH ROOF. SEE DETAIL 2/A410 - 3/A410.

HOT FLUE. SEE DETAIL 4/A410.

PRIMARY ROOF DRAIN.

OVERFLOW ROOF DRAIN.

THROUGH WALL SCUPPER. SEE DETAIL 5/A410.

EXISTING GAS LINE TO REMAIN.

(XXX) KEYNOTES

- REMOVE AND DISPOSE OF MEMBRANE ROOF ASSEMBLY TO SLOPED CONCRETE DECK; SEE ROOFING SCHEDULE.
- REMOVE AND DISPOSE OF EXISTING PRE-FINISHED METAL COPING. INSPECT WOOD NAILERS AND NOTIFY ARCHITECT/OWNER OF DEFICIENT NAILERS.
- REMOVE AND REPLACE EXISTING THROUGH WALL SCUPPER BOX. RECONNECT EXISTING DAMAGED FLUE STACK TO INTERIOR FLUE
- STACK PIPING.

REMOVE AND REINSTALL EXISTING LADDER AS NEEDED.

COLLEGE CAREER STUDIES ROOF REPLACEMENT

CASPER



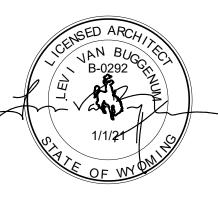


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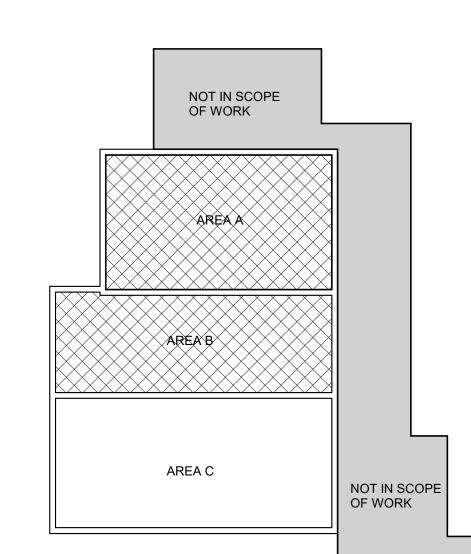
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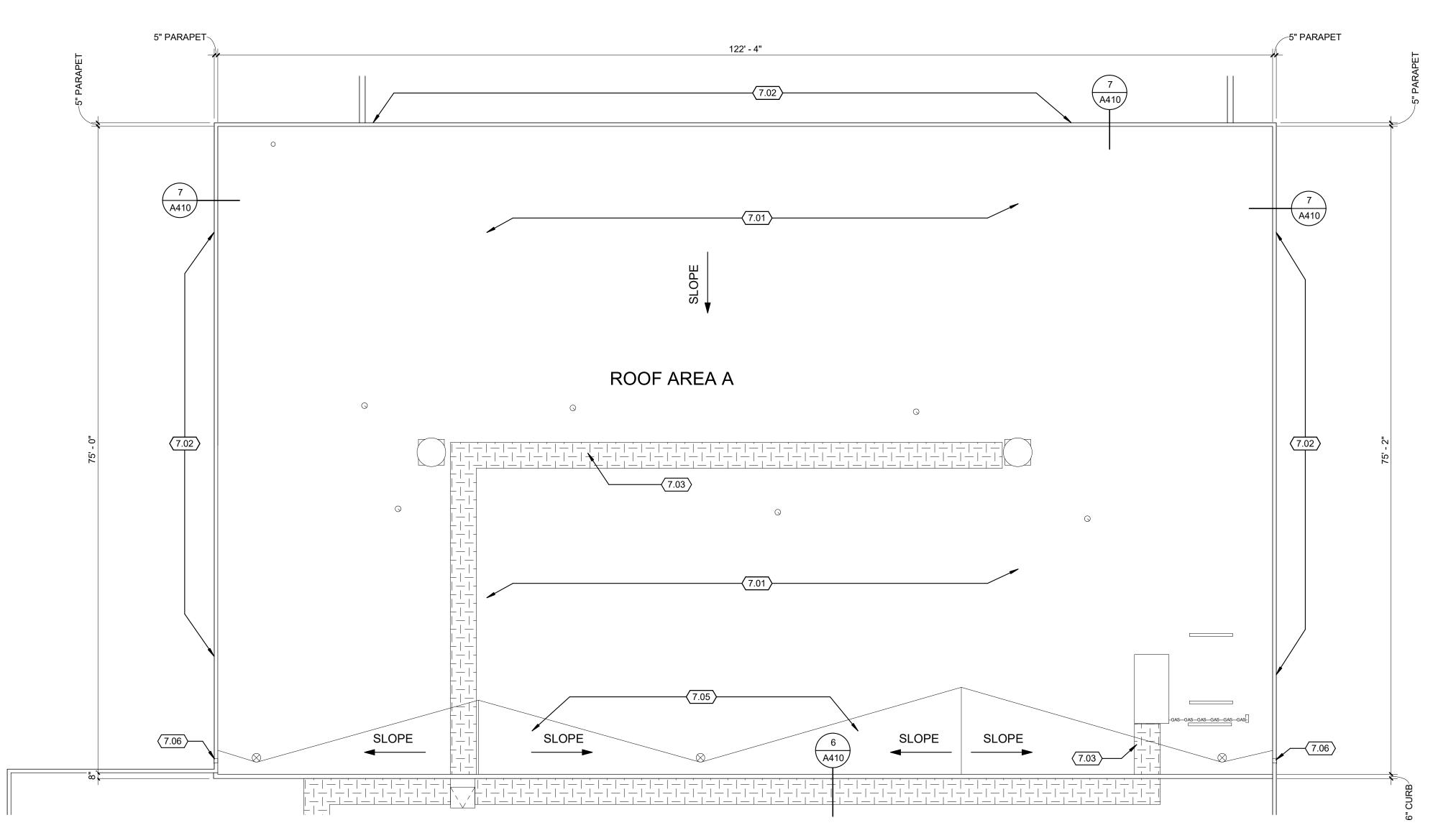
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ISSUE: CONSTRUCTION DOCUMENTS

DEMOLITION PLAN -ROOF AREA C



ROOF SCHEDULE			
ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
ROOF AREA A	9197 SF		REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.
ROOF AREA B 7	7846 SF		REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.
ROOF AREA C 1	0172 SF		REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.



1 RENOVATION PLAN - ROOF AREA A

SCALE: 1/8" = 1'-0"

GENERAL ROOF PLAN NOTES

- 1. CONSERVE & PROTECT ALL AREAS NOT SCHEDULED FOR NEW WORK. WHERE DAMAGE OCCURS TO AREAS NOT SCHEDULED FOR NEW WORK DAMAGED AREAS / ITEMS / DEVICES SHALL BE REPAIRED / REPLACED BACK TO SIMILAR CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- 2. DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY BEFORE ORDERING MATERIALS.
- 3. CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.
- 4. ALL DEMOLISHED ITEMS FROM THE EXISTING BUILDING TO BE REMOVED & DISPOSED OF FROM THE SITE IN ACCORDANCE WITH ALL STATE & LOCAL REGULATIONS.
- WATERTIGHT NIGHT SEAL AT ALL AREAS ABOVE CONDITIONED SPACES OPENED UP DURING THE DAY'S ROOFING ACTIVITIES.

5. ROOFING CONTRACTOR SHALL MONITOR THE FORECAST & PROVIDE A

- 6. REFER TO MECHANICAL FOR ALL MECHANICAL & PLUMBING ITEMS TO BE INSTALLED.
- 7. REFER TO ELECTRICAL FOR ALL ELECTRICAL ITEMS TO BE INSTALLED.
- 8. PATCH & INFILL ALL MECHANICAL, PLUMBING, & ELECTRICAL WORK THAT IS OUTLINED IN THEIR SHEETS, EVEN IF NOT FULLY REFERENCED IN THE ARCHITECTURAL SHEETS.

ROOF PLAN LEGEND

CURB MOUNTED EXHAUST FAN OR VENTILATOR. SEE DETAIL

VENT THROUGH ROOF. SEE DETAIL 2/A410 - 3/A410.

HOT FLUE. SEE DETAIL 4/A410.

PRIMARY ROOF DRAIN.

OVERFLOW ROOF DRAIN. THROUGH WALL SCUPPER. SEE DETAIL 5/A410.

EXISTING GAS LINE TO REMAIN.

XXX KEYNOTES

DETAIL 5/A10.

- PROVIDE AND INSTALL ROOF ASSEMBLY. SEE ROOFING SCHEDULE. 7.02 PROVIDE AND INSTALL PRE MANUFACTURED EDGE METAL. SEE
- DETAILS.
- PROVIDE AND INSTALL ADHERED WALKWAY PATH AS SPECIFIED.
- PROVIDE AND INSTALL OVERLAY CRICKET, SLOPE 1/4"/FT. PROVIDE AND INSTALL NEW SCUPPER SLEEVE AND TRIM RING. SEE

COLLEGE **CAREER** STUDIES ROOF REPLACEMENT

CASPER



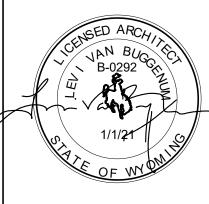
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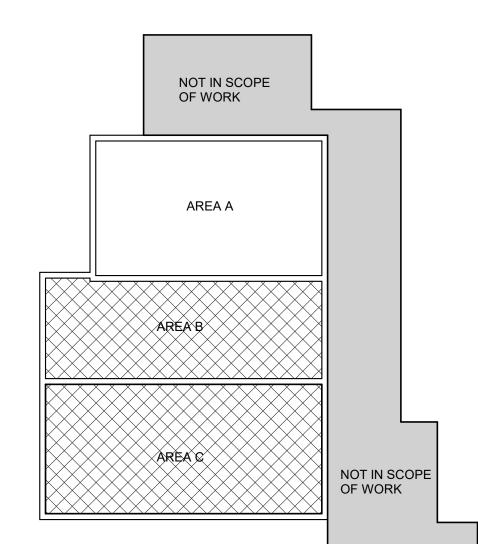
MARCH 28, 2025

CONSTRUCTION

DOCUMENTS

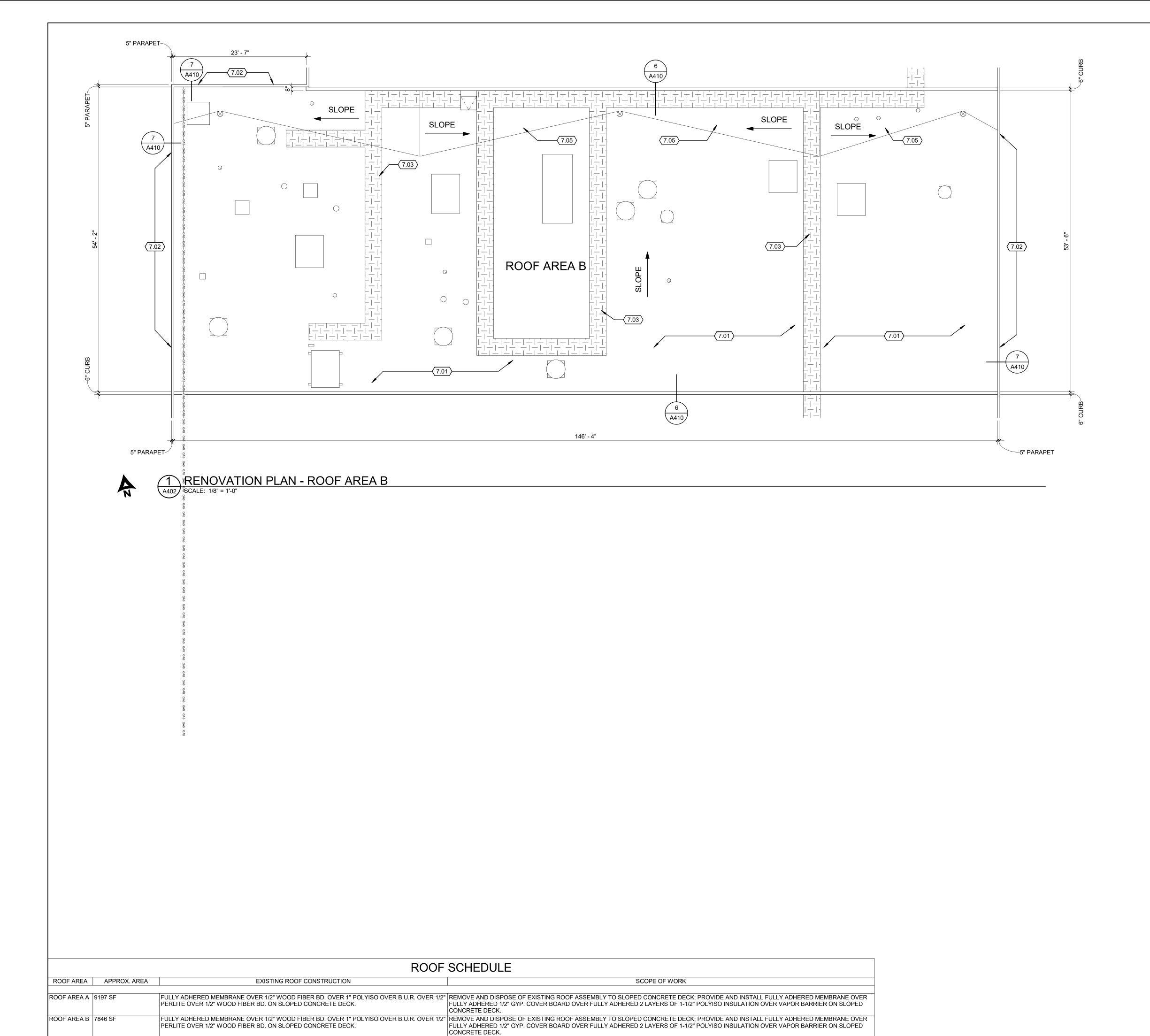
RENOVATION PLAN -ROOF AREA A

<u>(EY</u>	PLAN	N	
	ACTIVE ROOF		ADJACENT ROOF



		ROOF	SCHEDULE
ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	
ROOF AREA A	9197 SF		REMOVE AND DISPOSE (FULLY ADHERED 1/2" GY CONCRETE DECK.
ROOF AREA B	7846 SF		REMOVE AND DISPOSE (FULLY ADHERED 1/2" GY CONCRETE DECK.
ROOF AREA C	10172 SF	FULLY ADHERED MEMBRANE OVER 1/2" WOOD FIBER BD. OVER 1" POLYISO OVER B.U.R. OVER 1/2" PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK.	REMOVE AND DISPOSE (FULLY ADHERED 1/2" GY

SCOPE OF WORK MOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER LY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED MOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER LY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED MOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER LLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.



FULLY ADHERED MEMBRANE OVER 1/2" WOOD FIBER BD. OVER 1" POLYISO OVER B.U.R. OVER 1/2" REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER

CONCRETE DECK.

FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED

GENERAL ROOF PLAN NOTES

- 1. CONSERVE & PROTECT ALL AREAS NOT SCHEDULED FOR NEW WORK. WHERE DAMAGE OCCURS TO AREAS NOT SCHEDULED FOR NEW WORK DAMAGED AREAS / ITEMS / DEVICES SHALL BE REPAIRED / REPLACED BACK TO SIMILAR CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- 2. DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY BEFORE ORDERING MATERIALS.
- 3. CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.
- 4. ALL DEMOLISHED ITEMS FROM THE EXISTING BUILDING TO BE REMOVED & DISPOSED OF FROM THE SITE IN ACCORDANCE WITH ALL STATE & LOCAL REGULATIONS.
- WATERTIGHT NIGHT SEAL AT ALL AREAS ABOVE CONDITIONED SPACES OPENED UP DURING THE DAY'S ROOFING ACTIVITIES. 6. REFER TO MECHANICAL FOR ALL MECHANICAL & PLUMBING ITEMS TO BE
- INSTALLED.
- 7. REFER TO ELECTRICAL FOR ALL ELECTRICAL ITEMS TO BE INSTALLED.
- 8. PATCH & INFILL ALL MECHANICAL, PLUMBING, & ELECTRICAL WORK THAT IS OUTLINED IN THEIR SHEETS, EVEN IF NOT FULLY REFERENCED IN THE ARCHITECTURAL SHEETS.

ROOF PLAN LEGEND

CURB MOUNTED EXHAUST FAN OR VENTILATOR. SEE DETAIL

VENT THROUGH ROOF. SEE DETAIL 2/A410 - 3/A410.

HOT FLUE. SEE DETAIL 4/A410.

PRIMARY ROOF DRAIN. OVERFLOW ROOF DRAIN.

THROUGH WALL SCUPPER. SEE DETAIL 5/A410.

EXISTING GAS LINE TO REMAIN.

(X.XX) KEYNOTES

NOT IN SCOPE

XAREA A

NOT IN SCOPE OF WORK

7.05

PROVIDE AND INSTALL ROOF ASSEMBLY. SEE ROOFING SCHEDULE. 7.02 PROVIDE AND INSTALL PRE MANUFACTURED EDGE METAL. SEE DETAILS.

PROVIDE AND INSTALL OVERLAY CRICKET, SLOPE 1/4"/FT.

PROVIDE AND INSTALL ADHERED WALKWAY PATH AS SPECIFIED.

5. ROOFING CONTRACTOR SHALL MONITOR THE FORECAST & PROVIDE A

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CAREER

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STUDIES ROOF

REPLACEMENT



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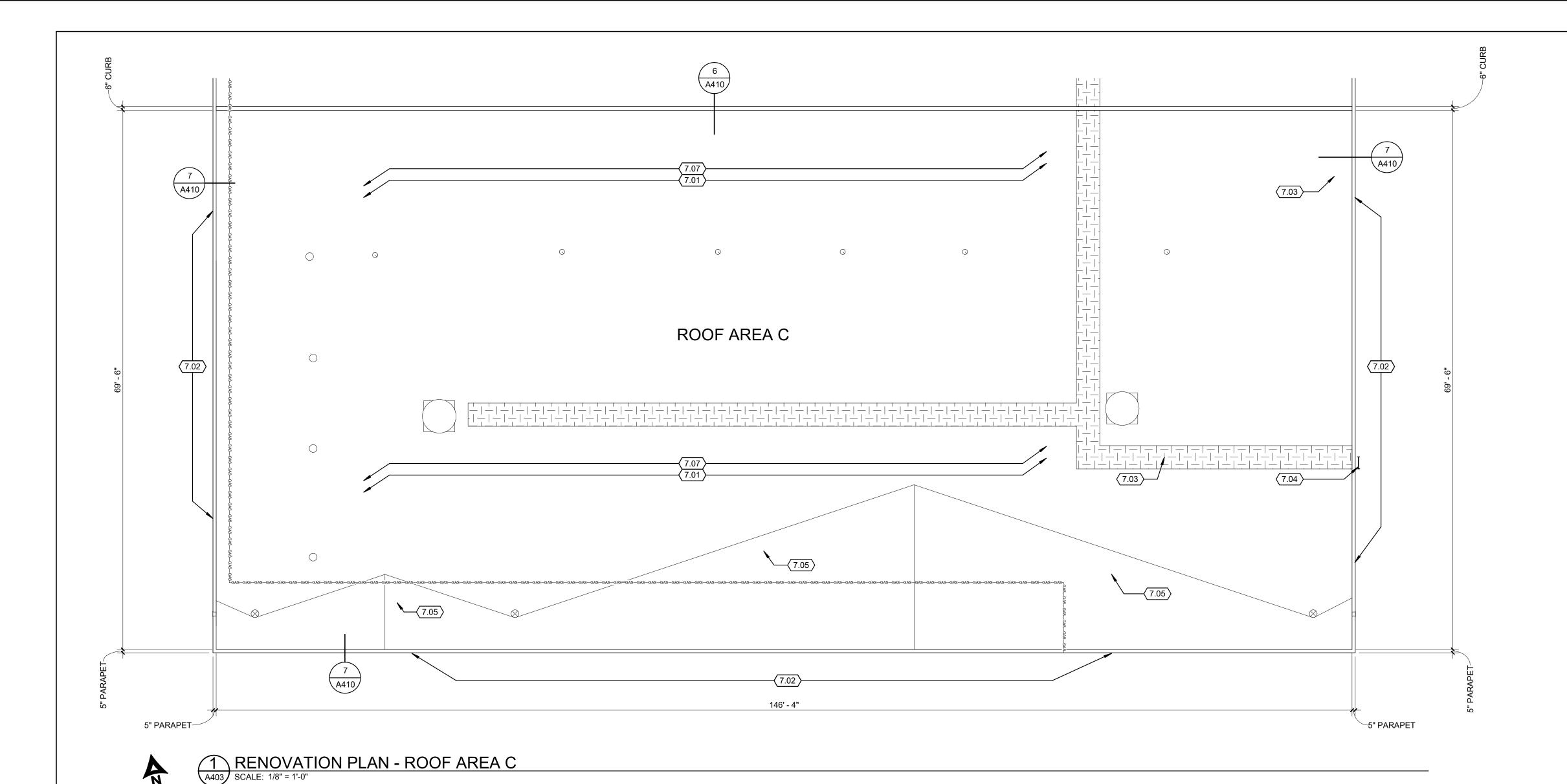
MARCH 28, 2025

CONSTRUCTION DOCUMENTS

RENOVATION PLAN -ROOF AREA B

ROOF AREA C 10172 SF

PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK.



GENERAL ROOF PLAN NOTES

- 1. CONSERVE & PROTECT ALL AREAS NOT SCHEDULED FOR NEW WORK. WHERE DAMAGE OCCURS TO AREAS NOT SCHEDULED FOR NEW WORK DAMAGED AREAS / ITEMS / DEVICES SHALL BE REPAIRED / REPLACED BACK TO SIMILAR CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- 2. DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY BEFORE ORDERING MATERIALS.
- 3. CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.
- 4. ALL DEMOLISHED ITEMS FROM THE EXISTING BUILDING TO BE REMOVED & DISPOSED OF FROM THE SITE IN ACCORDANCE WITH ALL STATE & LOCAL REGULATIONS.

5. ROOFING CONTRACTOR SHALL MONITOR THE FORECAST & PROVIDE A

- WATERTIGHT NIGHT SEAL AT ALL AREAS ABOVE CONDITIONED SPACES OPENED UP DURING THE DAY'S ROOFING ACTIVITIES. 6. REFER TO MECHANICAL FOR ALL MECHANICAL & PLUMBING ITEMS TO BE
- 7. REFER TO ELECTRICAL FOR ALL ELECTRICAL ITEMS TO BE INSTALLED.
- 8. PATCH & INFILL ALL MECHANICAL, PLUMBING, & ELECTRICAL WORK THAT IS OUTLINED IN THEIR SHEETS, EVEN IF NOT FULLY REFERENCED IN THE ARCHITECTURAL SHEETS.

ROOF PLAN LEGEND

CURB MOUNTED EXHAUST FAN OR VENTILATOR. SEE DETAIL

VENT THROUGH ROOF. SEE DETAIL 2/A410 - 3/A410.

HOT FLUE. SEE DETAIL 4/A410.

PRIMARY ROOF DRAIN.

OVERFLOW ROOF DRAIN. THROUGH WALL SCUPPER. SEE DETAIL 5/A410.

EXISTING GAS LINE TO REMAIN.

KEYNOTES

- PROVIDE AND INSTALL ROOF ASSEMBLY. SEE ROOFING SCHEDULE. 7.02 PROVIDE AND INSTALL PRE MANUFACTURED EDGE METAL. SEE DETAILS.
- PROVIDE AND INSTALL ADHERED WALKWAY PATH AS SPECIFIED.
- PROTECT AND PRESERVE EXISTING ACCESS LADDER AND CONNECTIONS. REMOVE AND REINSTALL LADDER AS NEEDED.
- PROVIDE AND INSTALL OVERLAY CRICKET, SLOPE 1/4"/FT.
- REMOVE MASONRY PAVERS AND STACK ON PALLETS ON THE GROUND FOR OWNER TO PICK UP.

CASPER COLLEGE CAREER STUDIES ROOF REPLACEMENT



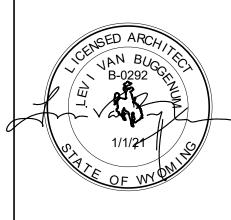
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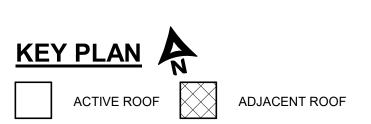
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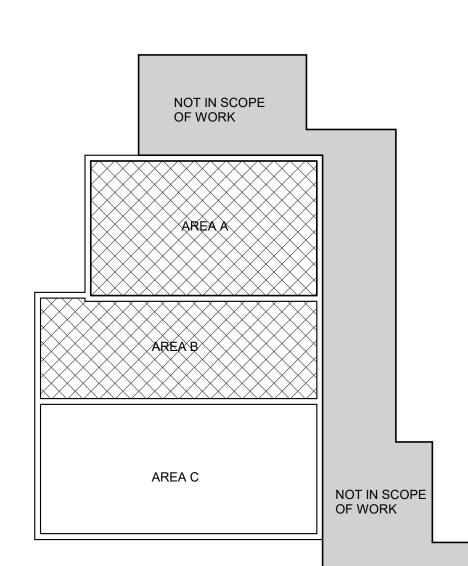
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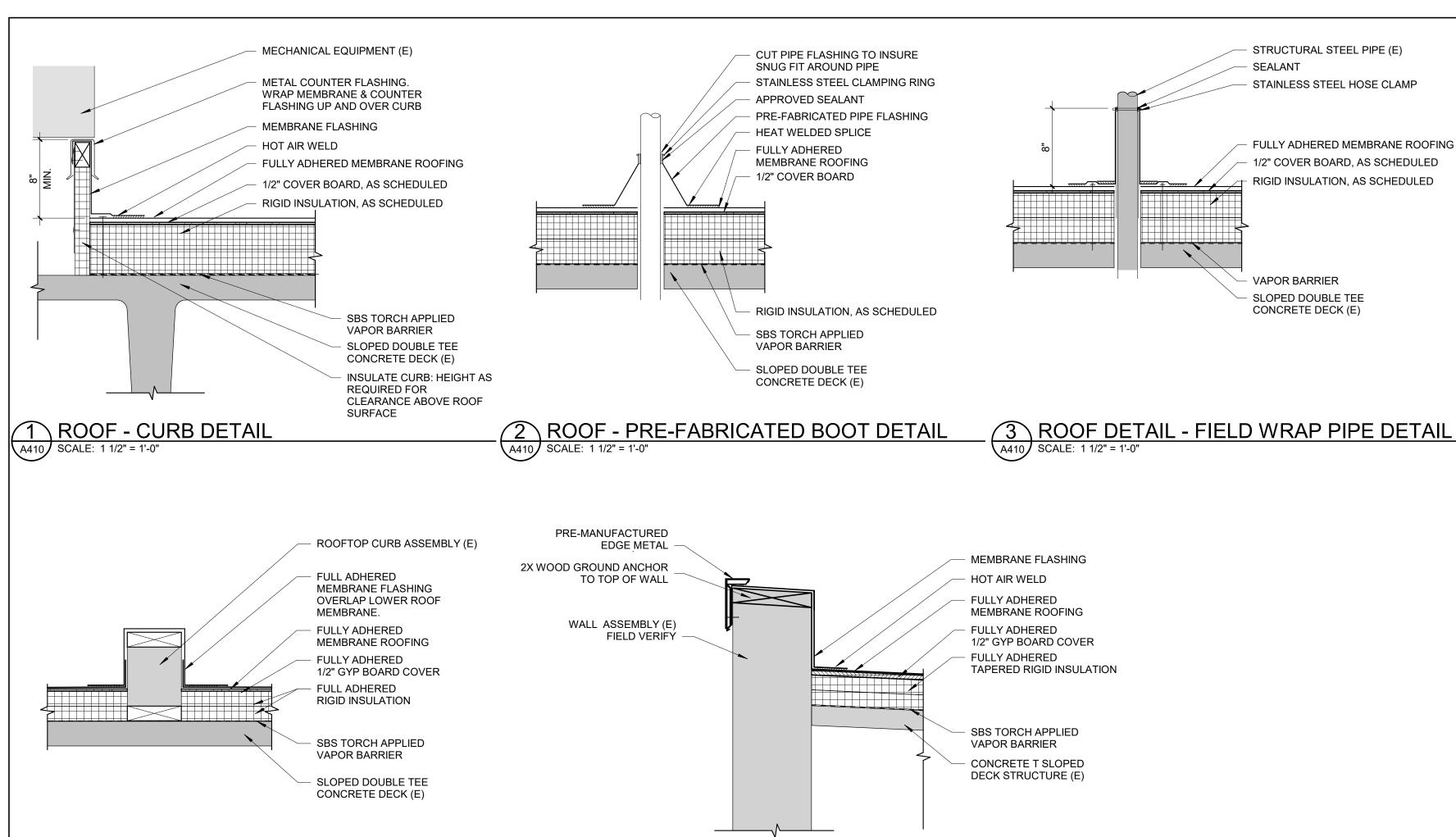
RENOVATION PLAN -ROOF AREA C





ROOF SCHEDULE			
ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
ROOF AREA A 9	9197 SF	PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK.	REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.
ROOF AREA B 7	7846 SF	PERLITE OVER 1/2" WOOD FIBER BD. ON SLOPED CONCRETE DECK.	REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED CONCRETE DECK.
ROOF AREA C 1	10172 SF		REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY TO SLOPED CONCRETE DECK; PROVIDE AND INSTALL FULLY ADHERED MEMBRANE OVER FULLY ADHERED 1/2" GYP. COVER BOARD OVER FULLY ADHERED 2 LAYERS OF 1-1/2" POLYISO INSULATION OVER VAPOR BARRIER ON SLOPED

CONCRETE DECK.

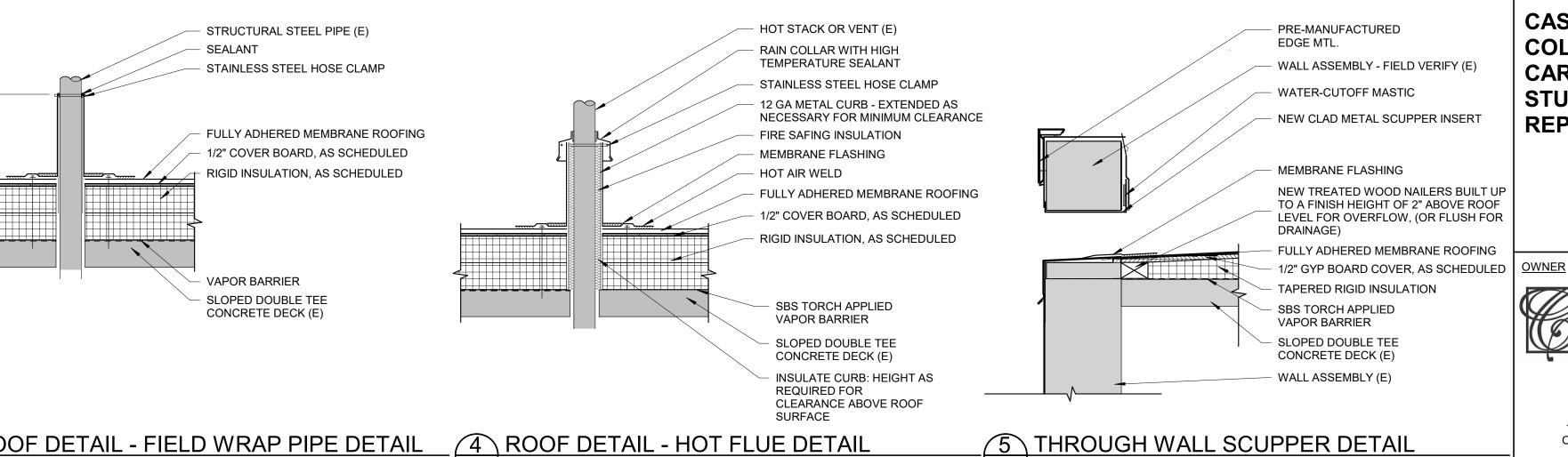


7 ROOF - EDGE METAL DETAIL

A410 SCALE: 1 1/2" = 1'-0"

6 ROOF @ DIVIDING CURB DETAIL

SCALE: 1 1/2" = 1'-0"



A410 SCALE: 1 1/2" = 1'-0"

A410 SCALE: 1 1/2" = 1'-0"

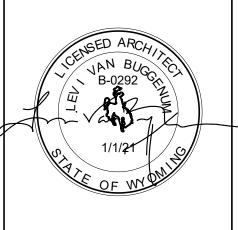
CASPER COLLEGE CAREER STUDIES ROOF REPLACEMENT



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CONSTRUCTION DOCUMENTS

ROOF DETAILS